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2905 Arizona Ave NW

Preliminary Design Review Meeting

January 29, 2018

Prepared for:

Arizona Ave LLC
Eric Goetz & Christal Goetz

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Prepared by:

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Washington, DC 20003
202 683 6260
charles@teass-warren.com



LOT OCCUPANCY TABULATION

LOT AREA	5,213.0	
----------	---------	--

EXISTING CONDITIONS		
EXISTING STRUCTURES	1,241.0	24%
EXISTING NON-COMPLYING SIDEYARDS	0.0	0%
EXISTING NON-COMPLYING COURTS	0.0	0%
EXISTING ACCESSORY STRUCTURES	0.0	0%
EXISTING LOT OCCUPANCY	1,241.0	24%

PROPOSED CONDITIONS		
EXISTING STRUCTURES	1,241.0	24%
PROPOSED ADDITIONS	430.0	8%
PROPOSED ACCESSORY STRUCTURES	0.0	0%
PROPOSED LOT OCCUPANCY	1,671.0	32%

PERVIOUS SURFACE TABULATION

LOT AREA	5,213.0	
REQUIRED PERVIOUS SURFACE	2,606.5	50%

PROPOSED CONDITIONS		
LANDSCAPE BED / GRASS	2,607.0	50%
VEGETATED ROOF	0.0	0%
PERVIOUS PAVERS / PAVING	0.0	0%
DECK	0.0	0%
PROPOSED PERVIOUS SURFACE	2,607.0	50%

ZONING SUMMARY

ADDRESS	2905 ARIZONA AVE NW
SQUARE	1426
LOT	0894
SITE AREA (sf)	5213 SF
ZONE	R-21
OVERLAY	CHAIN BRIDGE ROAD / UNIVERSITY TERRACE
HISTORIC DISTRICT	N/A

EXISTING USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	SINGLE FAMILY RESIDENCE

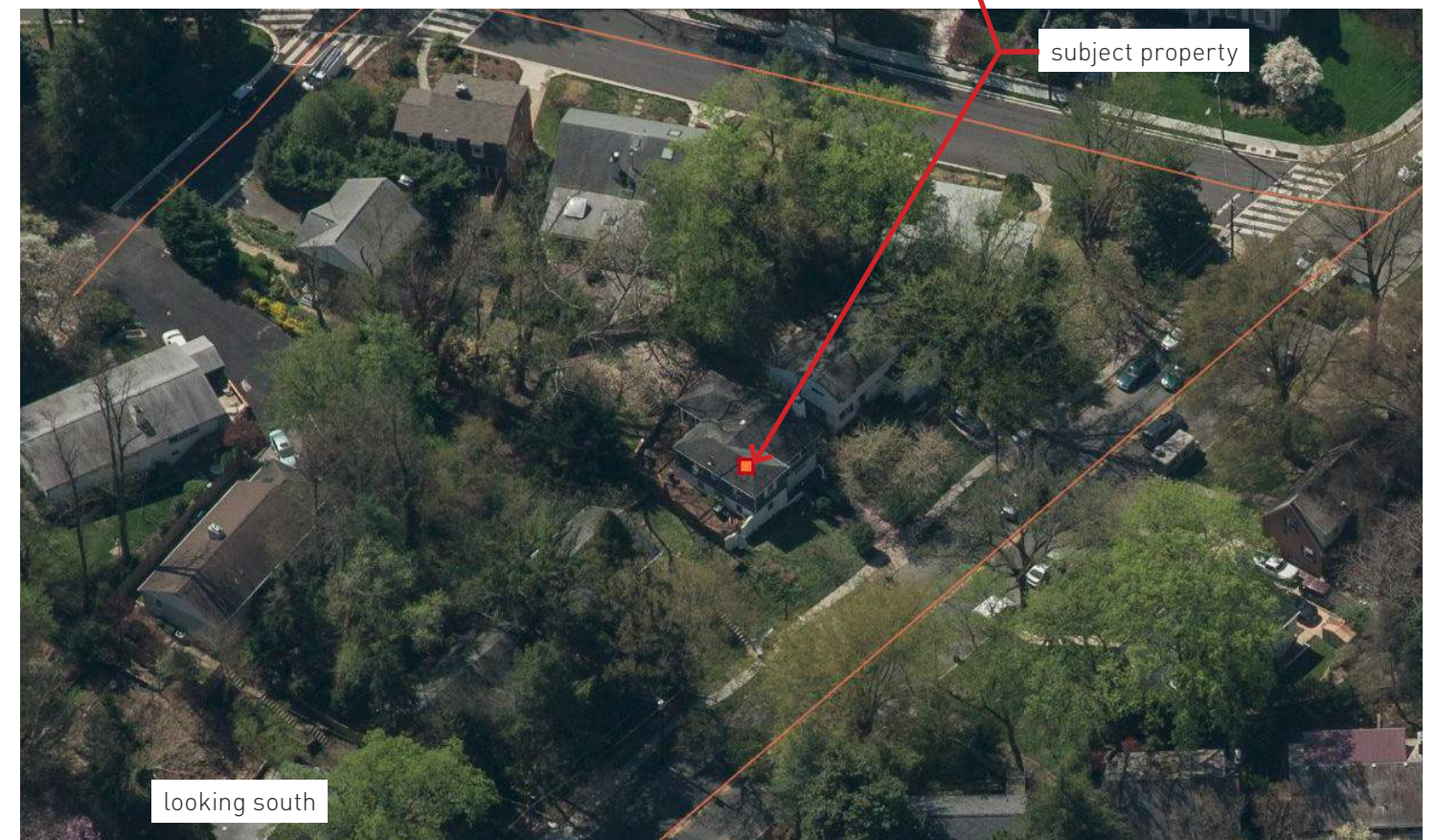
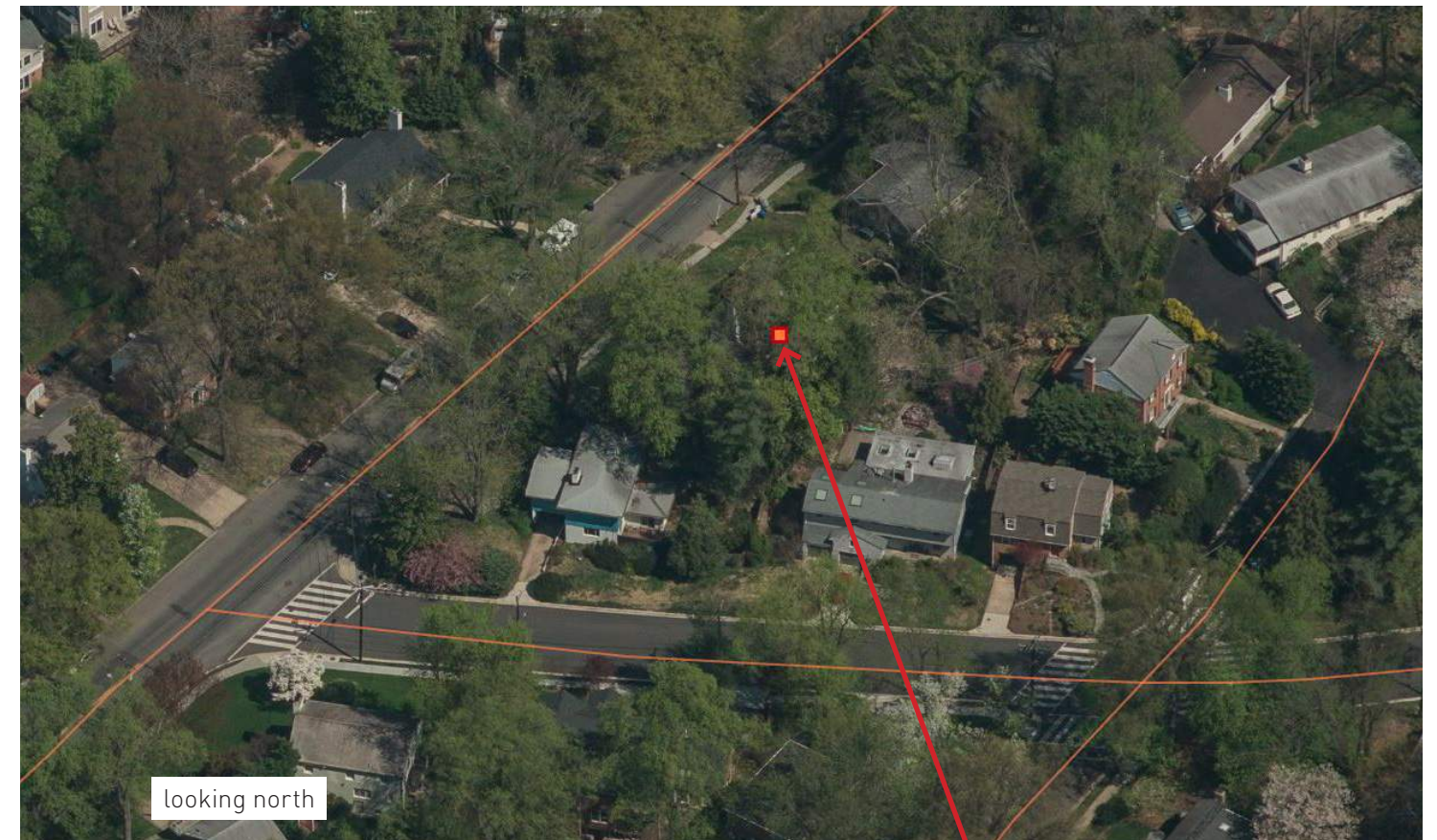
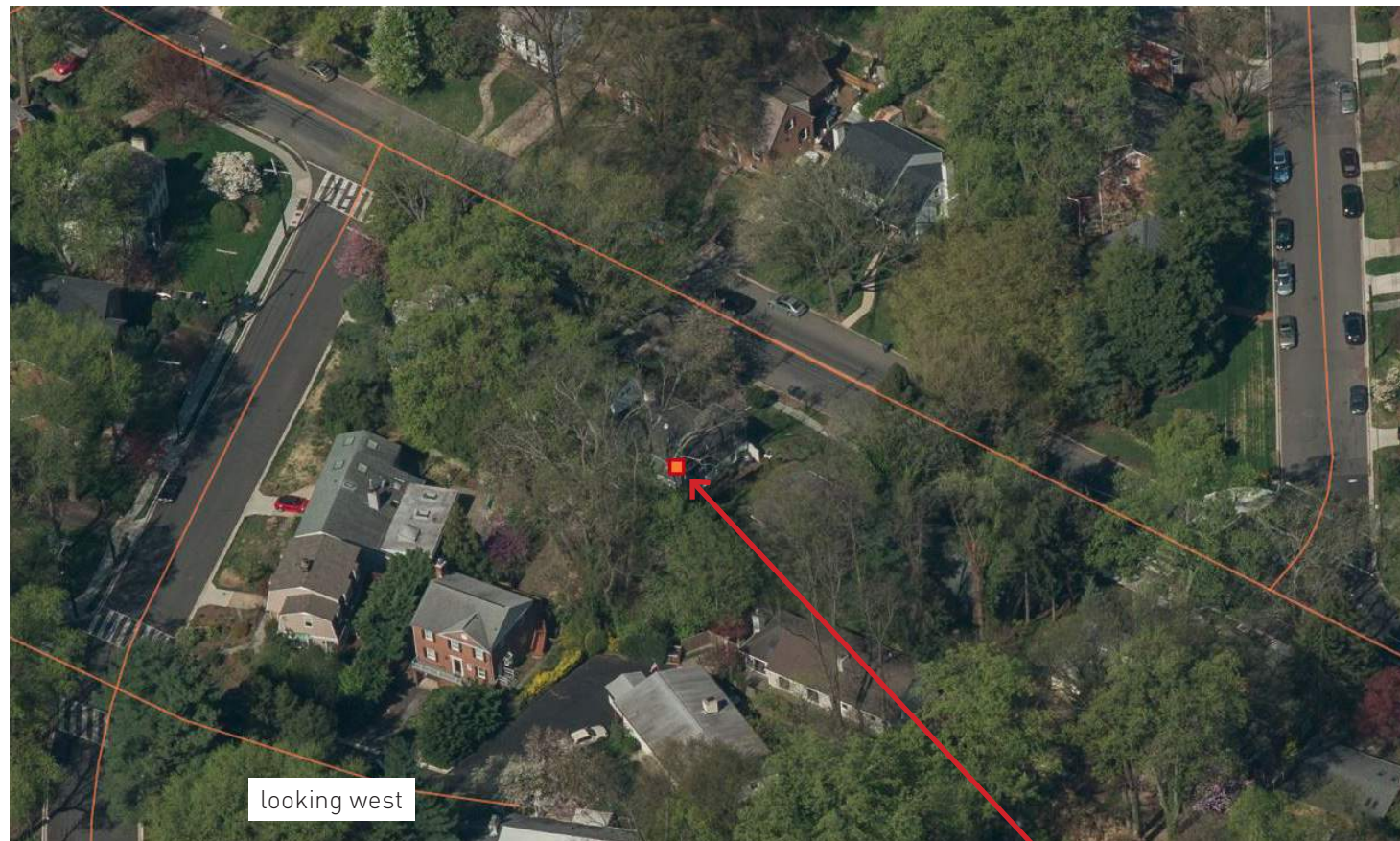
R-21 / SINGLE-FAMILY DWELLING				
	REF	EXISTING	ALLOW. / REQ'D	PROPOSED
MAX. BUILDING HEIGHT (FT)	D 1303.1	+/- 24'-6"	40'	30'-5"
MAX. BUILDING HEIGHT (STORIES)	D 1303.1	3	3	3
MIN. LOT AREA (SF)	D 1302.1	5,046 sf (1)	7,500 sf	5,213 (5)
MIN. LOT WIDTH (FT)	D 1302.1	+/- 67'-1 1/2"	75'	N/C
MAX. FAR			N/A	
MAX. LOT OCCUPANCY	D 1304.1	+/- 25%	40% (2)	32%
MIN YARD REQ'TS - FRONT (FT)	D 1305.1	0'	{3}	N/C
MIN YARD REQ'TS - REAR (FT)	D 1306.1	27'-5"	25'	60'-1"
MIN YARD REQ'TS - SIDE (FT)	D 1307.1	+/- 6'-0"	8'	6'-0" (4)
COURT - OPEN / WIDTH (FT)	D 203.1	N/A	N/A	N/A
COURT - CLOSED / WIDTH (FT)	D 203.1	N/A	N/A	N/A
COURT - CLOSED / AREA (SF)	D 203.1	N/A	N/A	N/A
PERVIOUS AREA	D 1308.1		50%	50%
PARKING (NO. OF SPACES)	C 701.5	1	1 PER .D.U.	1
BIKE STORAGE - LONG TERM (NO. OF SPACES)	C 802.1		N/A	
BIKE STORAGE - SHORT TERM (NO. OF SPACES)	C 802.1		N/A	

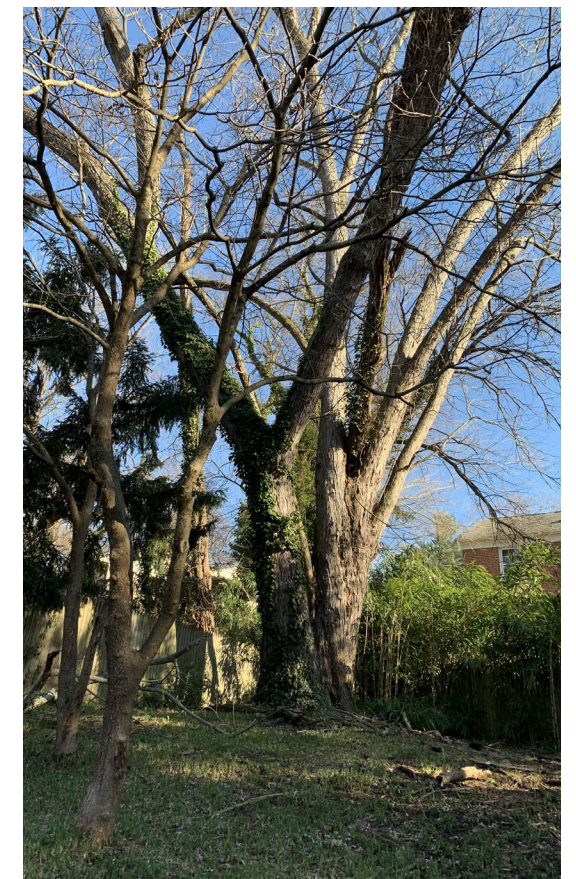
- NOTES:
1. MINIMUM LOT STANDARDS DO NOT APPLY TO EXISTING RECORD LOTS
 2. LOT OCCUPANCY FOR LOTS LESS THAN 6,500 SF SHALL BE 40%
 3. PROVIDED WITHIN THE RANGE OF ALL RES BUILDINGS ON SAME SIDE OF SQUARE
 4. FOR A BUILDING WITH AN EXISTING SIDE YARD LESS THAN 8'-0", AN EXTENSION/ADDITION CAN BE MADE WHICH SHALL NOT DECREASE THE SIDE YARD. THE SIDE YARD SHALL BE NO LESS THAN 5'-0"
 5. COMBINED AREA OF LOTS 0894 AND 941

GSF TABULATION

Levels	GSF		
	Existing	Addition	Total
3rd	473	798	1,271
2nd	1,241	294	1,535
1st	512	685	1,197
EXISTING GROSS SQUARE FOOT	2,226		
ADDITIONAL GROSS SQUARE FOOT		1,777	
TOTAL GROSS SQUARE FOOT			4,003







DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., January 29, 2019

Plat for Building Permit of: SQUARE 1426 LOTS 894 & 941

Scale: 1 inch = 20 feet

Recorded in Book A & T Page 3409 - U (Lot 894)
Book A & T Page 3685 - E (Lot 941)

Receipt No. 19-02454 Drawn by: A.S.

Furnished to: WILL TEASS

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green areaatio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot. I also hereby certify that:
- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I ~~have~~ have not (*circle one*) filed a subdivision application with the Office of the Surveyor;
- 4) I ~~have~~ have not (*circle one*) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the 6 months prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

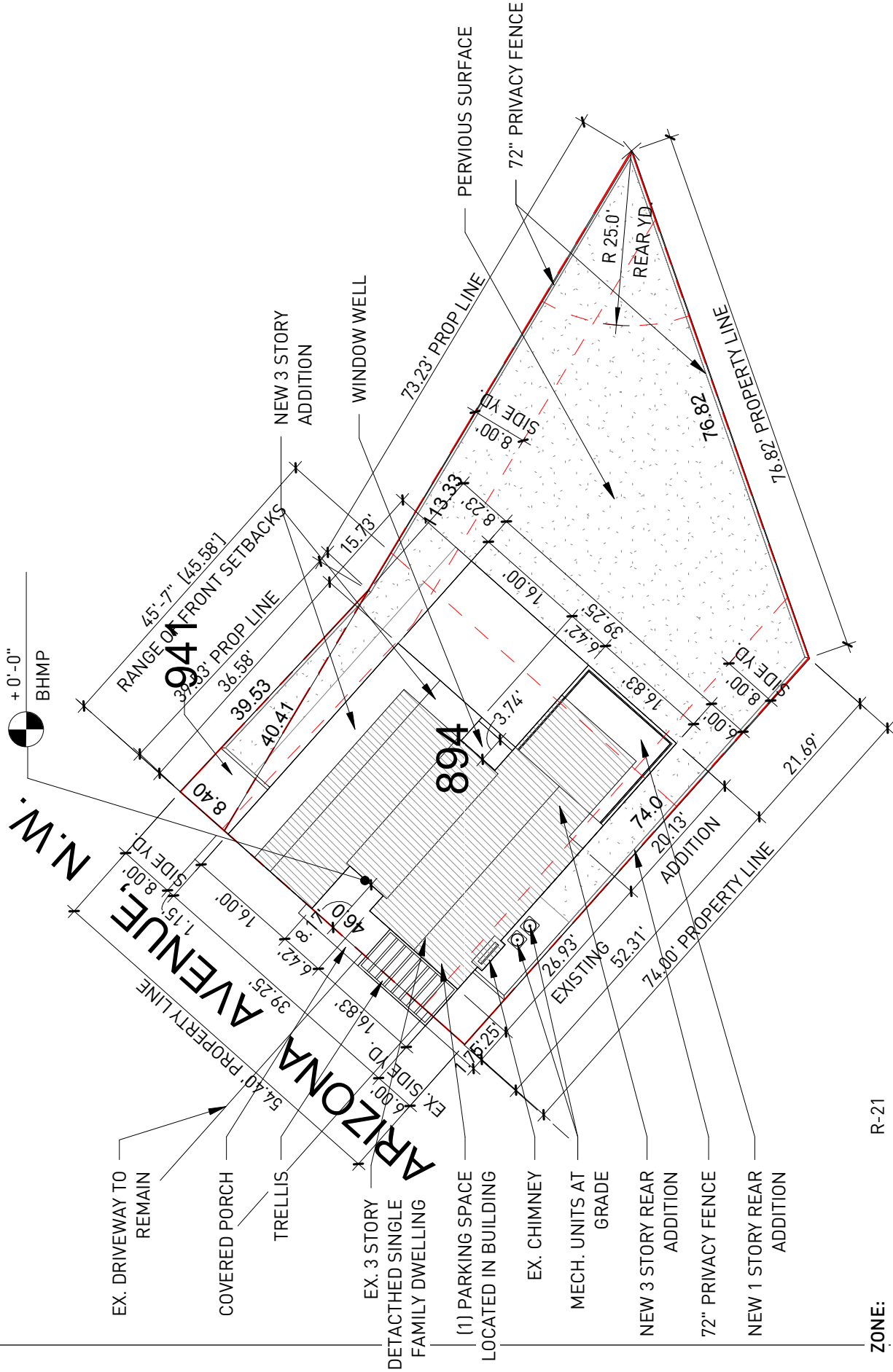
Signature: _____ Date: 01/30/2019

Printed Name: CHARLES WARREN, AIA Relationship to Lot Owner: AGENT

If a registered design professional, provide license number ARC100642 and include stamp below.

Surveyor, D.C.

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

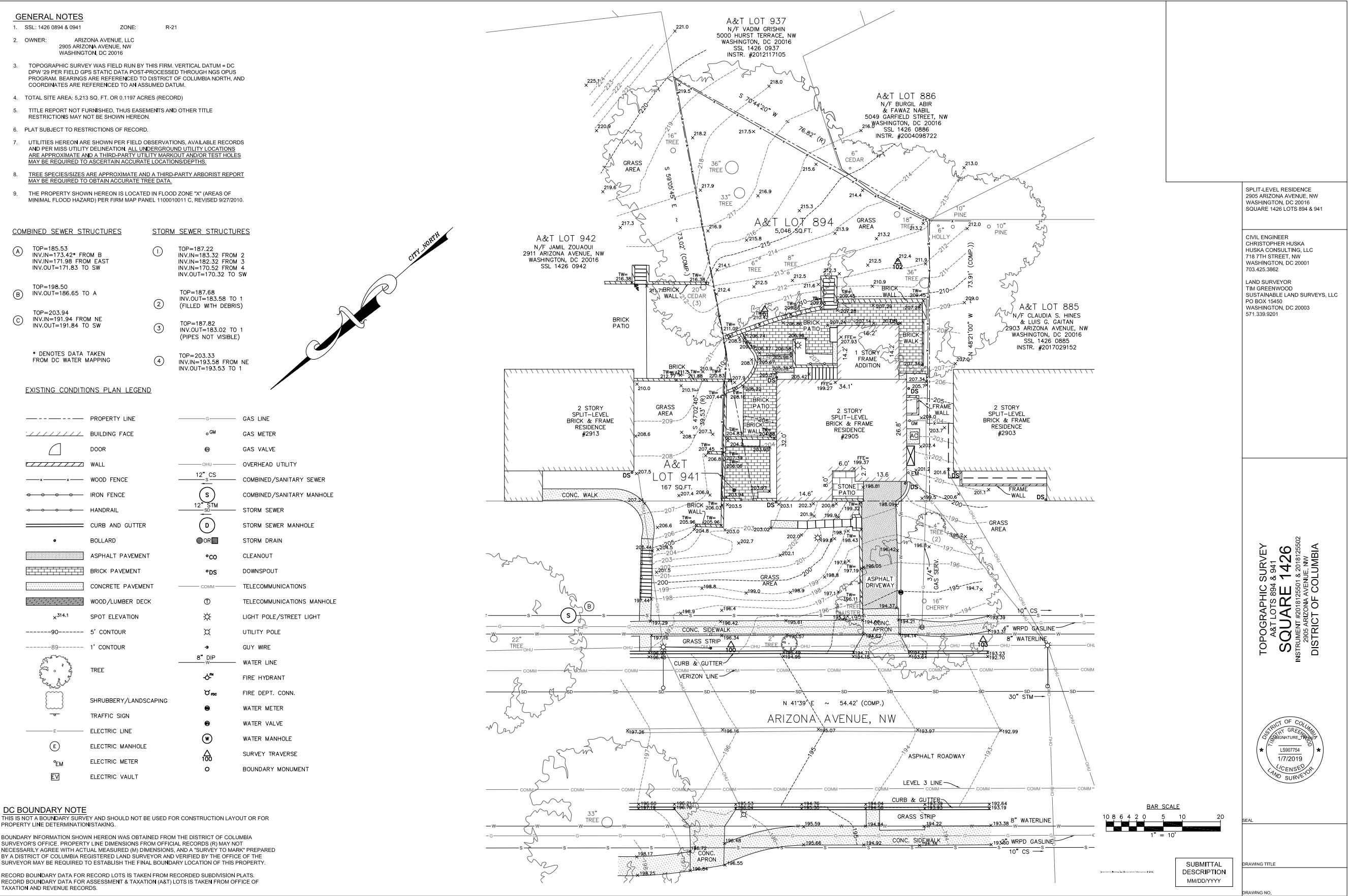


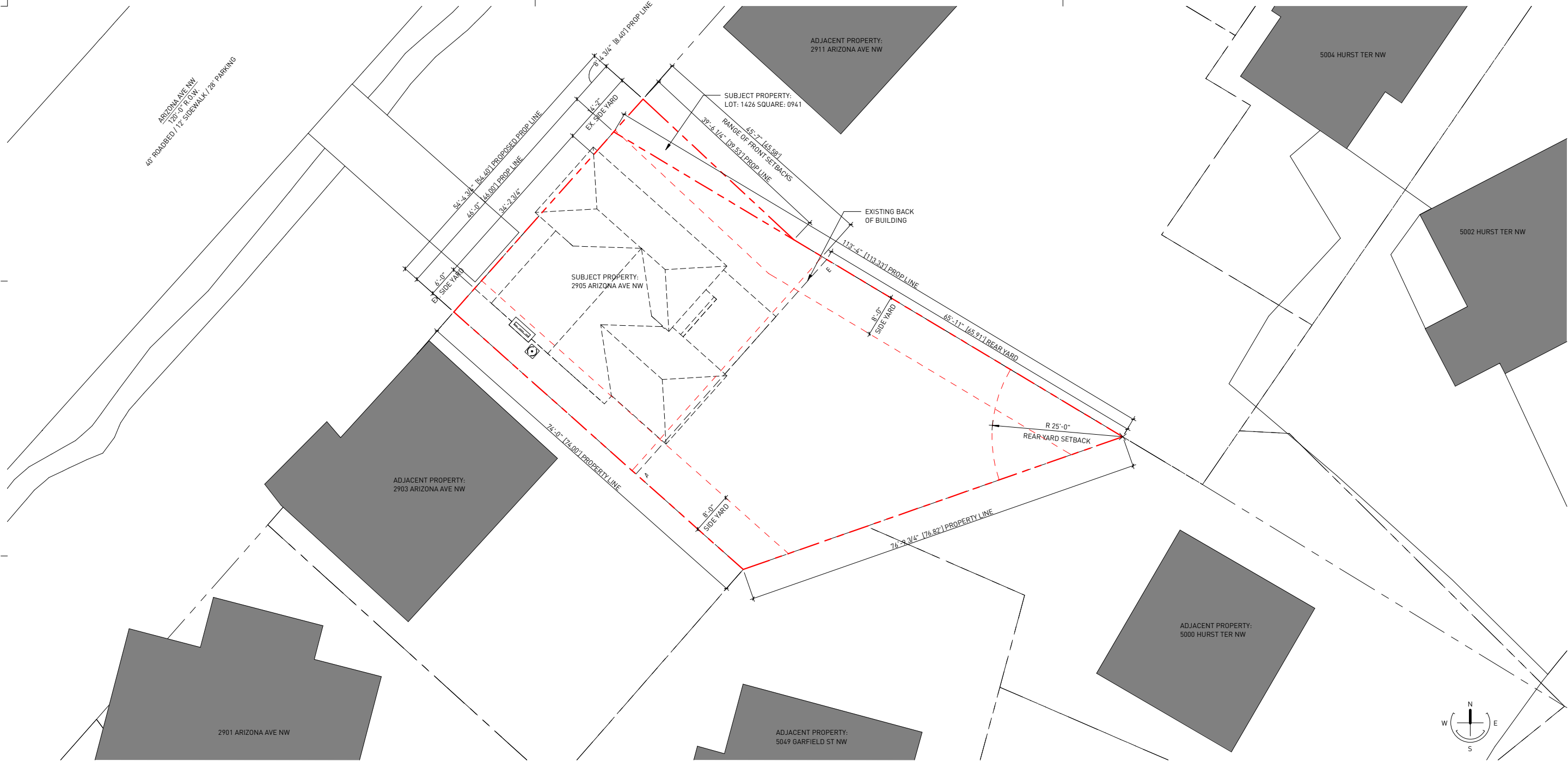
ZONE:	R-21
EX. USE:	SINGLE FAMILY
PROP. USE:	SINGLE FAMILY
LOT AREA:	5,213 SF (COMBINED)
LOT OCCUPANCY:	32% (1,671 SF)
GROSS BUILDING AREA:	4,003 SF
PERVIOUS SURFACE:	50% (2,607 SF)



SR-19-02454(2019)
E-MAIL

7





1 SITE DEMOLITION PLAN
A1.01 1" = 10'-0"

GENERAL SHEET NOTES

- CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO THE START OF WORK BY CONTACTING "MISS UTILITY". A MINIMUM OF FIVE BUSINESS DAYS PRIOR TO STARTING WORK.
- CONTRACTOR SHALL DEMOLISH, REMOVE AND DISPOSE OF ALL STRUCTURES AND DEBRIS.
- CONTRACTOR SHALL DEMOLISH, REMOVE AND DISPOSE OF ALL FOOTINGS AND ASSOCIATED UNDERGROUND STRUCTURES.
- CONTRACTOR SHALL DEMOLISH, REMOVE AND DISPOSE OF ANY ASPHALT, CONCRETE SLABS AND/OR ANY OTHER PAVING MATERIALS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY UNDERGROUND TANKS IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- OWNER SHALL COORDINATE UTILITY DISCONNECTIONS PRIOR TO THE START OF WORK. CONTRACTOR SHALL VERIFY THAT ALL UTILITIES ARE PROPERLY CAPPED.
- CONTRACTOR SHALL PROTECT ALL ADJACENT STRUCTURES AS REQUIRED TO PREVENT DAMAGE FROM OCCURRING DURING DEMOLITION.
- OWNER SHALL PROVIDE EXTERMINATION SERVICES PRIOR TO THE START OF WORK. CONTRACTOR SHALL VERIFY THAT EXTERMINATION SERVICES ARE COMPLETED PRIOR TO THE START OF WORK.

EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED	EX. UTILITY TO BE DEMOLISHED
EXISTING TO BE DEMOLISHED	PROPERTY LINE	ELECTRIC
LOT OCCUPANCY	IZ UNIT AREA	GAS
GROSS FLOOR AREA		TELECOM
		COMBINED SANITARY / STORM WATER
		SANITARY
		DOMESTIC WATER
		FIRE SERVICE

1 SHEET NOTES / LEGEND
A1.01

AHJ APPROVAL STAMP

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2905 ARIZONA

ADDITION /
ALTERATION

2905 ARIZONA AVE NW
WASHINGTON, DC 20016
SQUARE 1426 / LOT 0894
B1904447

27 FEB 2019 ISSUE FOR PERMIT
DATE USE REV

DESIGN PROFESSIONAL STAMP

ARCHITECTURAL PLANS CERTIFIED
AS PROVIDED IN THE D.C.
CONSTRUCTION CODE

SITE
DEMOLITION
PLAN

ISSUE TITLE: ISSUE FOR PERMIT

ISSUE DATE: DD MMM YYYY

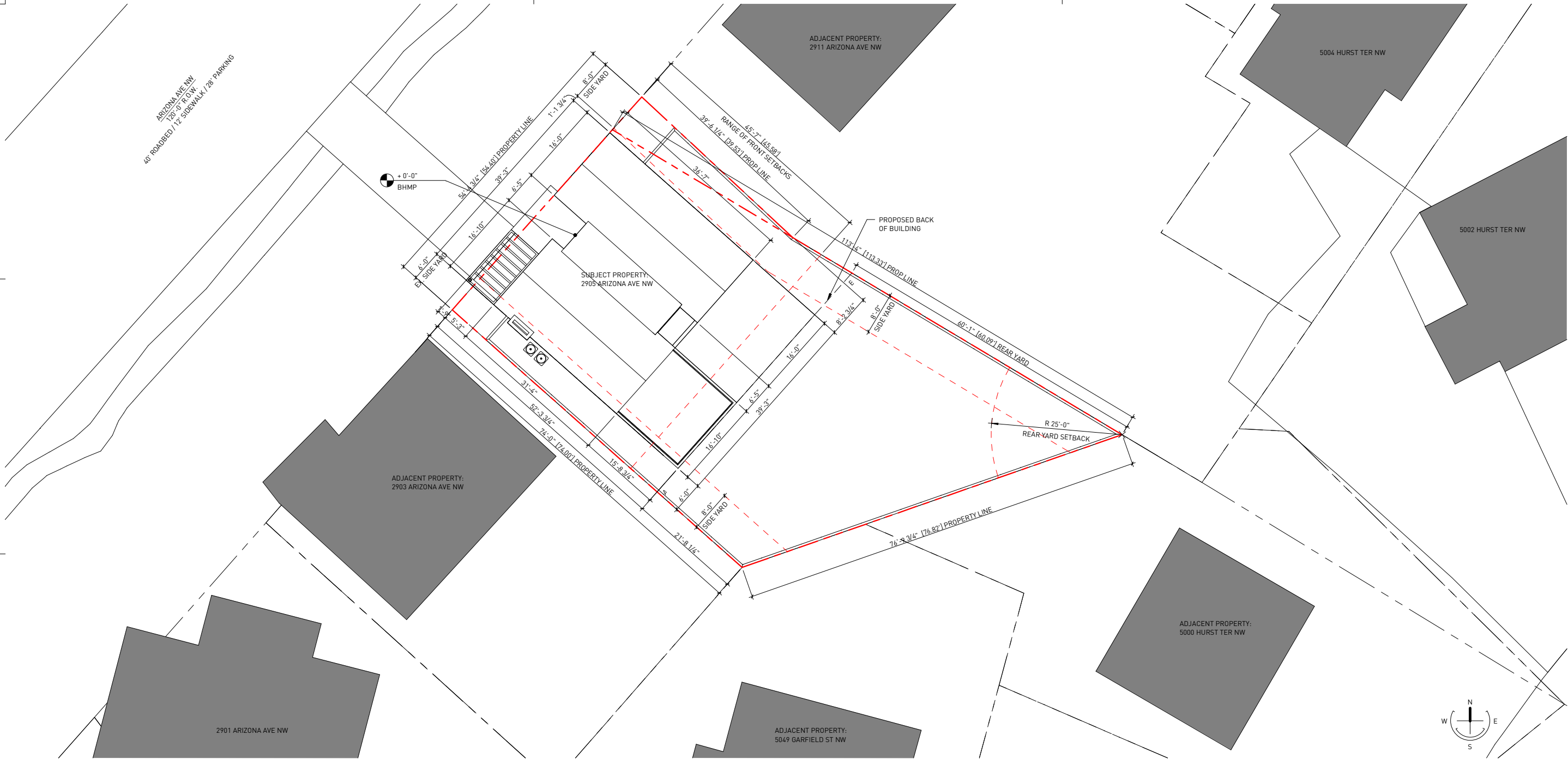
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A1.01

PROJECT R18&15

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5 SITE DEVELOPMENT PLAN
A1.21 1" = 10'-0"

GENERAL SHEET NOTES

- CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO START OF WORK BY CONTACTING MISS UTILITY A MINIMUM OF 5 BUSINESS DAYS PRIOR TO STARTING WORK.
- CONTRACTOR SHALL ENGAGE A CERTIFIED LAND SURVEYOR TO STAKEOUT PROPERTY LINES, OFFSETS, SETBACKS, FOUNDATION CORNERS, RETAINING WALL, CONTROL POINTS, PROJECTIONS, ETC. TO ENSURE CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- VIRGINIA: WHEN THE BUILDING FOOTING HAS BEEN PLACED AND THE WALLS HAVE BEEN RAISED TO THE FIRST JOIST BEARING OR STORY HEIGHT ABOVE GRADE, A FOUNDATION AND WALL SURVEY PLAT (WALL CHECK) SHOWING THE EXACT LOCATION OF THE WALLS SHALL BE PREPARED BY A LICENSED, CERTIFIED PUBLIC LAND SURVEYOR OR ENGINEER AND FILED WITH THE BUILDING OFFICIAL AND ZONING ADMINISTRATOR FOR APPROVAL BEFORE PROCEEDING FURTHER WITH THE CONSTRUCTION.
- DC: CONTRACTOR SHALL ENGAGE A LICENSED, CERTIFIED PUBLIC LAND SURVEYOR OR ENGINEER TO PROVIDE A WALL CHECK VERIFICATION:
 - AN INDIVIDUAL FAMILIAR WITH THE CONSTRUCTION SHOULD BE ON THE JOB SITE TO ANSWER ANY QUESTIONS.
 - MASONRY CORNERS AND/OR FORMS FOR CONCRETE WALLS SHALL BE ON THE FOOTINGS AND IN PLACE PRIOR TO THE WALL EXAMINATION. BRICK AND BLOCK SHALL BE ON MORTAR. NAILS WILL NOT BE ACCEPTED FOR LOCATING WALLS.
 - ALL CORNERS TO BE EXAMINED SHALL BE EXPOSED AND FREE FROM BACKFILL AND DEBRIS.
 - CONSTRUCTION EQUIPMENT AND MATERIAL SHALL BE MOVED AS NECESSARY SO THAT THE FIELD PARTY CAN PROPERLY CONDUCT THE WALL EXAMINATION.
 - NOTE: THE SURVEYOR WHO PERFORMS THE STAKEOUT WORK CANNOT PERFORM THE WALL EXAMINATION.

- EXISTING STRUCTURE TO REMAIN
- PROPOSED NEW CONSTRUCTION
- PROPERTY LINE
- LIMIT OF DISTURBANCE
- LOT OCCUPANCY
- IZ UNIT AREA
- GROSS FLOOR AREA

1 SHEET NOTES / LEGEND
A1.21

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2905 ARIZONA

ADDITION /
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2905 ARIZONA AVE NW
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SITE
DEVELOPMENT
PLAN

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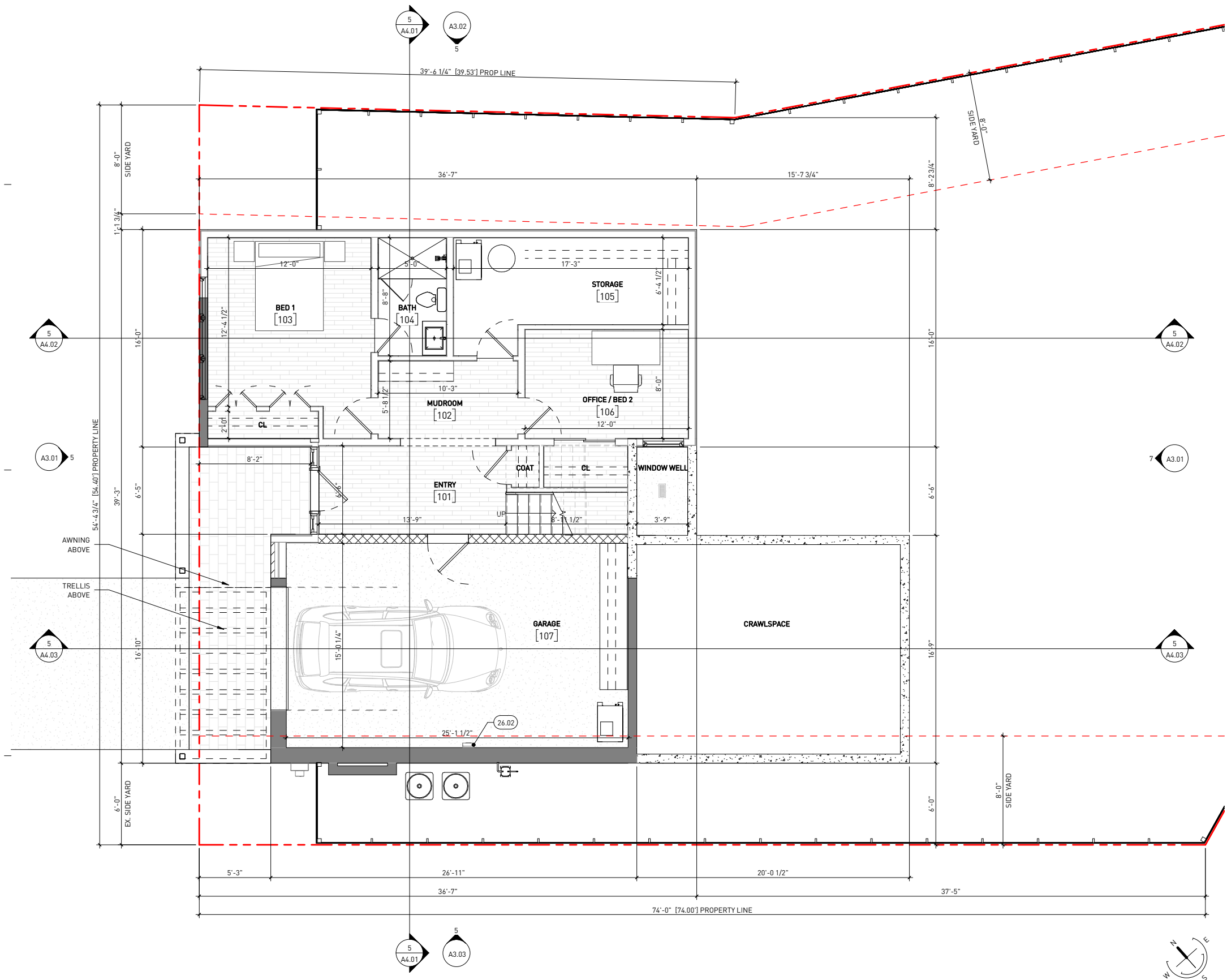
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PL: IM

A1.21

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2 LAYOUT PLAN - GROUND
A2.11 1/4" = 1'-0"

13 MATERIAL LEGEND
A2.11

5 KEYNOTES
A2.11

26.02

1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
2. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
3. PROTECT EXISTING CONSTRUCTION DURING ALTERATION / RENOVATION.
4. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
5. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.
6. ALL INTERIOR WALLS ARE TYPE W9, UNLESS NOTED OTHERWISE.

- | | | | |
|--|--|--|--|
| | NEW WALL | | DOOR TAG |
| | INTERIOR LOAD BEARING WALL;
RE: FRAMING / STRUCTURAL
PLANS | | DOOR DIMENSIONS |
| | EXISTING WALL | | DOOR HARDWARE |
| | NOT IN CONTRACT | | WINDOW TAG |
| | 1 HR RATED WALL | | WALL TAG |
| | 2 HR RATED WALL | | KEYNOTE |
| | PROPERTY LINE | | FINISH / MATERIAL /
EQUIPMENT TAG |
| | | | TEMPERED GLAZING |
| | | | EMERGENCY ESCAPE +
RESCUE OPENING, 5.7
SF MIN. |

1 SHEET NOTES / LEGEND
A2.11

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LAYOUT PLAN -
GROUND

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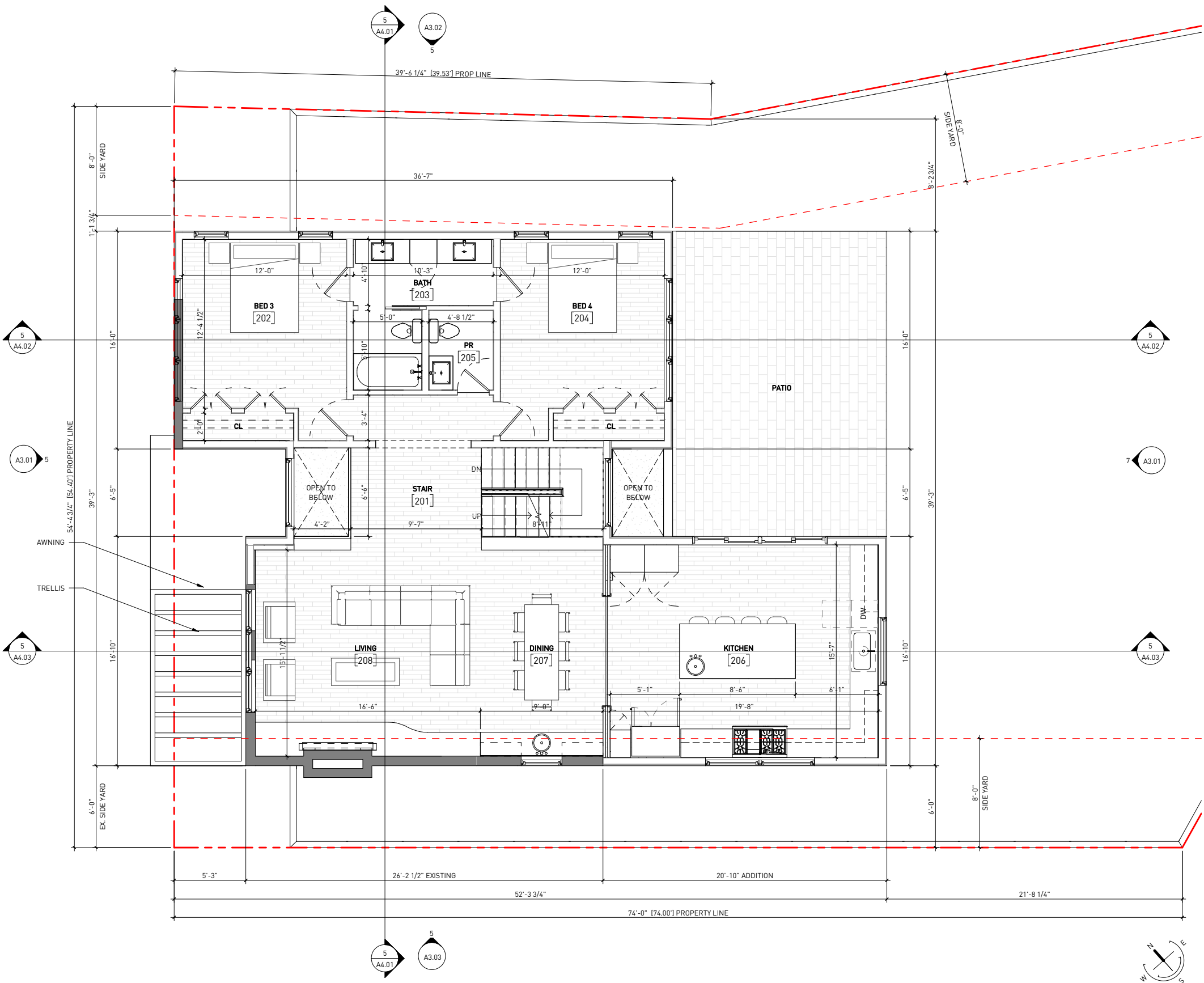
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PL: IM

A2.11

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2 LAYOUT PLAN - SECOND
A2.12 1/4" = 1'-0"

13 MATERIAL LEGEND
A2.12

5 KEYNOTES
A2.12

1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
2. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
3. PROTECT EXISTING CONSTRUCTION DURING ALTERATION / RENOVATION.
4. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
5. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.
6. ALL INTERIOR WALLS ARE TYPE W9, UNLESS NOTED OTHERWISE.

	NEW WALL		DOOR TAG
	INTERIOR LOAD BEARING WALL; RE: FRAMING / STRUCTURAL PLANS		DOOR NUMBER
	EXISTING WALL		DOOR DIMENSIONS
	NOT IN CONTRACT		HARDWARE
	1 HR RATED WALL		WINDOW TAG
	2 HR RATED WALL		WALL TAG
	PROPERTY LINE		KEYNOTE
			FINISH / MATERIAL / EQUIPMENT TAG
			TEMPERED GLAZING
			EMERGENCY ESCAPE + RESCUE OPENING, 5.7 SF MIN.

1 SHEET NOTES / LEGEND
A2.12

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LAYOUT PLAN -
SECOND

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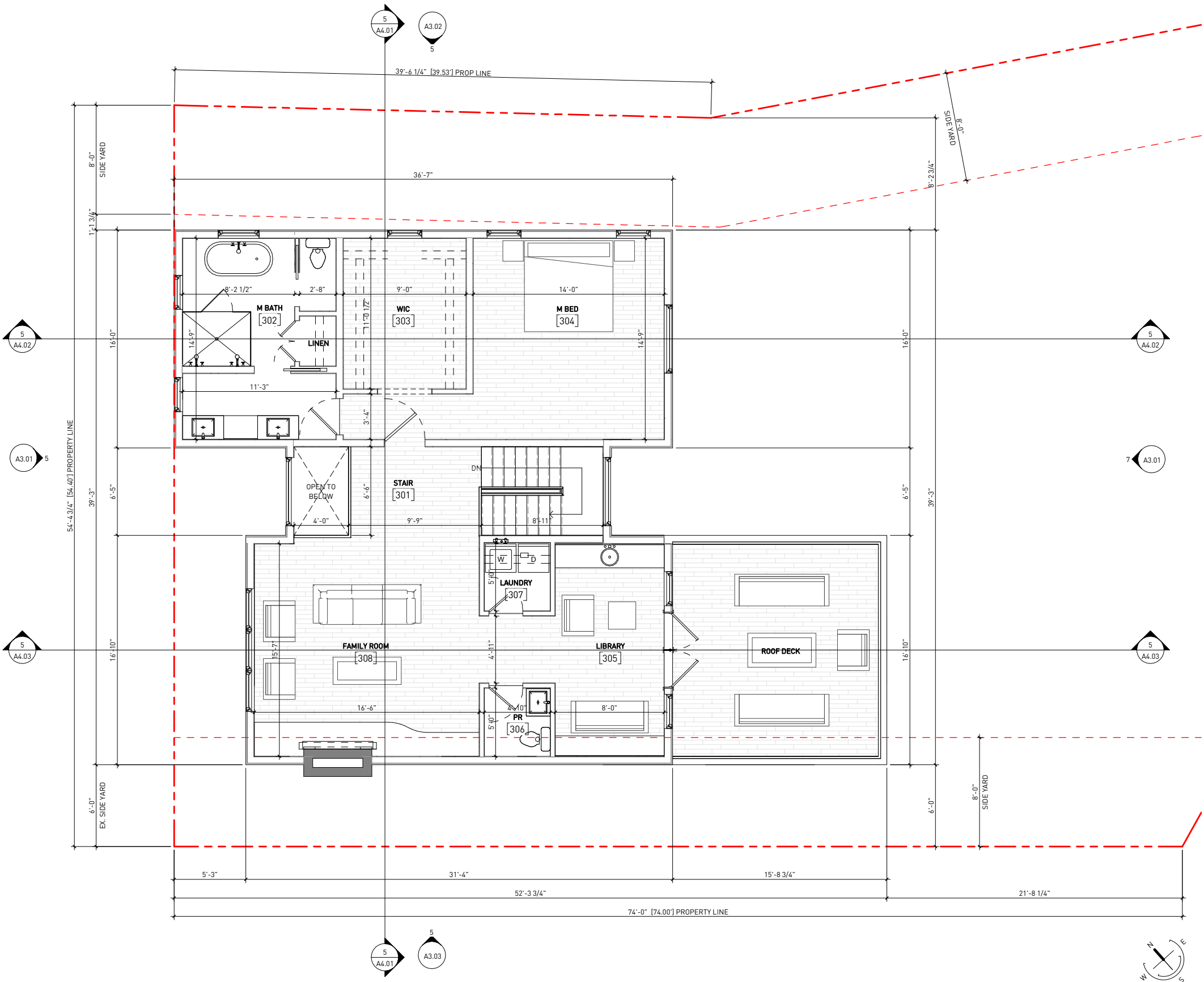
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PL: IM

A2.12

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2 LAYOUT PLAN - THIRD
A2.13 1/4" = 1'-0"

13 MATERIAL LEGEND
A2.13

5 KEYNOTES
A2.13

1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
2. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
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6. ALL INTERIOR WALLS ARE TYPE W9, UNLESS NOTED OTHERWISE.

	NEW WALL		DOOR TAG
	INTERIOR LOAD BEARING WALL; RE: FRAMING / STRUCTURAL PLANS		DOOR NUMBER
	EXISTING WALL		DOOR DIMENSIONS
	NOT IN CONTRACT		HARDWARE
	1 HR RATED WALL		WINDOW TAG
	2 HR RATED WALL		WALL TAG
	PROPERTY LINE		KEYNOTE
			FINISH / MATERIAL / EQUIPMENT TAG
			TEMPERED GLAZING
			EMERGENCY ESCAPE + RESCUE OPENING, 5.7 SF MIN.

1 SHEET NOTES / LEGEND
A2.13

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LAYOUT PLAN -
THIRD

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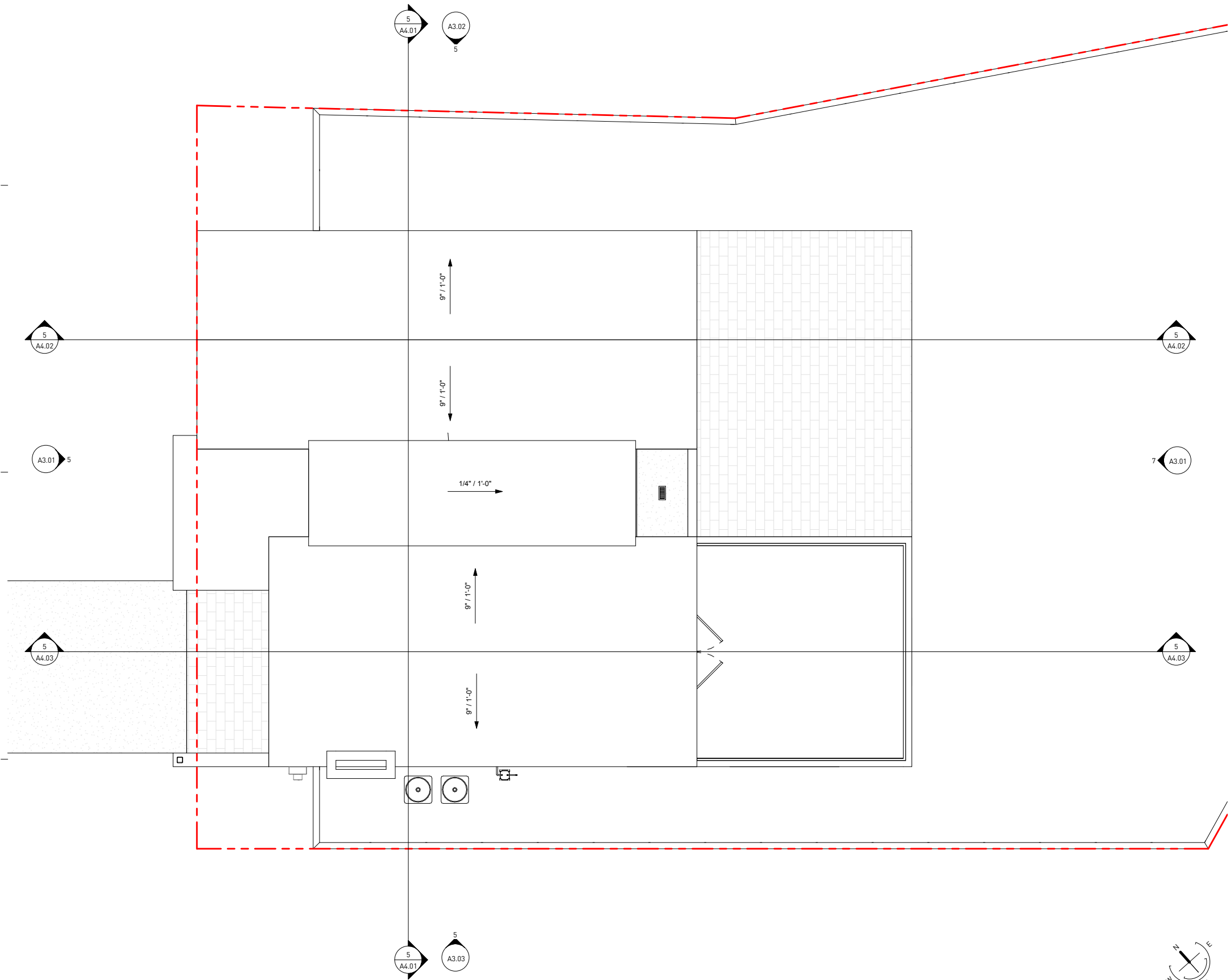
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PL: IM

A2.13

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2 ROOF PLAN
A2.14 1/4" = 1'-0"

13 MATERIAL LEGEND
A2.14

5 KEYNOTES
A2.14

1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
2. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
3. PROTECT EXISTING CONSTRUCTION DURING ALTERATION / RENOVATION.
4. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
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	NEW WALL		DOOR TAG
	INTERIOR LOAD BEARING WALL; RE: FRAMING / STRUCTURAL PLANS		DOOR NUMBER
	EXISTING WALL		DOOR DIMENSIONS
	NOT IN CONTRACT		HARDWARE
	1 HR RATED WALL		WINDOW TAG
	2 HR RATED WALL		WALL TAG
	PROPERTY LINE		KEYNOTE
			FINISH / MATERIAL / EQUIPMENT TAG
			TEMPERED GLAZING
			EMERGENCY ESCAPE + RESCUE OPENING, 5.7 SF MIN.

1 SHEET NOTES / LEGEND
A2.14

CIVIL:
COMPANY
NUMBER
email

STRUCTURAL:
COMPANY
NUMBER
email

MEP:
COMPANY
NUMBER
email

LANDSCAPE:
COMPANY
NUMBER
email

2905 ARIZONA

ADDITION /
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ROOF PLAN

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ISSUE DATE:	01/23/19
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PL:	IM

ADDITION /
ALTERATION

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DATE	USE

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CONSTRUCTION CODE

ISSUE TITLE: ISSUE FOR PERMIT

ISSUE DATE: 01/22/19

PIC: CW

PL: IM

A4.01

PROJECT R18415

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- PARTITION / ASSEMBLY TAGS;
RE: PARTITION SCHEDULE / INTERIOR DETAILS

EXTERIOR MATERIAL;
RE: EXTERIOR MATERIAL SCHEDULE

NEW WALL

EXISTING WALL

NOT IN CONTRACT

1 HR RATED WALL

2 HR RATED WALL

~~1-HR-1-HR~~

~~2-HR-2-HR~~

- 1 SHEET NOTES / LEGEND